

Comhairle Contae Chill Dara
Kildare County Council



Date: 8th January 2024.
Our Ref: ED/1075.

Leslie Stevenson,
c/o Richard McLoughlin,
Lotts Architecture,
22 South William Street,
Dublin 2.
D02 H394.

RE: Application for a Declaration of Exempted Development under Section 5 of Planning and Development Act 2000 (as amended) for development at St. Johns Church, Monasterevin, Co. Kildare.

Dear Sir/Madam,

I refer to your correspondence received on 24th October 2023 in connection with the above.

Please find attached declaration made under Section 5 of Planning and Development Acts 2000 (as amended) in this regard. Please find enclosed Receipt No. FIN1/0/492632 in relation to fee paid.

Yours sincerely,


Senior Executive Officer,
Planning Department.



Declaration of Development & Exempted Development under Section 5 of the Planning and Development Act 2000 (as amended).

ED/001075.

WHEREAS a question has arisen as to whether external paving works at St. Johns Church, Monasterevin, Co. Kildare, is exempted development,

AS INDICATED on the plans and particulars received by the Planning Authority on 24th October 2023

AND WHEREAS Leslie Stevenson requested a declaration on the said question from Kildare County Council,

AND WHEREAS Kildare County Council as the Planning Authority, in considering this application for a declaration under Section 5 of the Planning and Development Act 2000 (as amended), had regard to;

- (a) Planning and Development Act 2000 (as amended) and
- (b) Planning and Development Regulations 2001 (as amended); and

AND WHEREAS Kildare County Council has concluded that the proposal comprises of development to which the provisions of the following applies:


- (a) Sections 2, 3, 4, 5 & 57 of the Planning and Development Act 2000 (as amended);
- (b) The nature, extent and purpose of the works,

NOW THEREFORE Kildare County Council, in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended), hereby decides that the external paving works at St. Johns Church, Monasterevin, Co. Kildare

IS development and IS EXEMPTED development pursuant to Sections 2, 3, 4, 5 & 57 of the Planning and Development Act 2000 (as amended).

Please note that any person issued with a declaration under subsection 2(a) of the Planning and Development Act 2000 (as amended) may on payment to the Board of the prescribed fee, refer a declaration to An Bord Pleanála within 4 weeks of the issuing of the decision.

8th January 2024.


**Senior Executive Officer,
Planning Department.**

KILDARE COUNTY COUNCIL



PLANNING & STRATEGIC DEVELOPMENT DEPARTMENT

Section 5 referral & declaration on development & exempted development

Planning & Development Act 2000 (as amended)

Reference No. ED/1075

Name Of Applicant(s):	Leslie Stevenson
Address Of Development:	St John's Church, Main Street, Monasterevin, Co. Kildare W34 KR80
Development Description:	External Paving Works
Due date	21/11/2023

Introduction

This is a request for a **DECLARATION** under Section 5(1) of the Planning and Development Act 2000 (as amended) to establish whether under Section 5 of the Act is the proposed external paving works exempt or not exempt development.

Site Location

The site is located within the grounds of St. John's Church, Main Street Monasterevin.



Fig 1: Site Location and context



Fig 2: Aerial view of subject site (Google Images)

Description of Proposed Development

The proposed works comprises of removal of existing concrete paving and steps and replacement with limestone paving and steps, rubble stone wall, inclusion of timber and painted steel handrails.

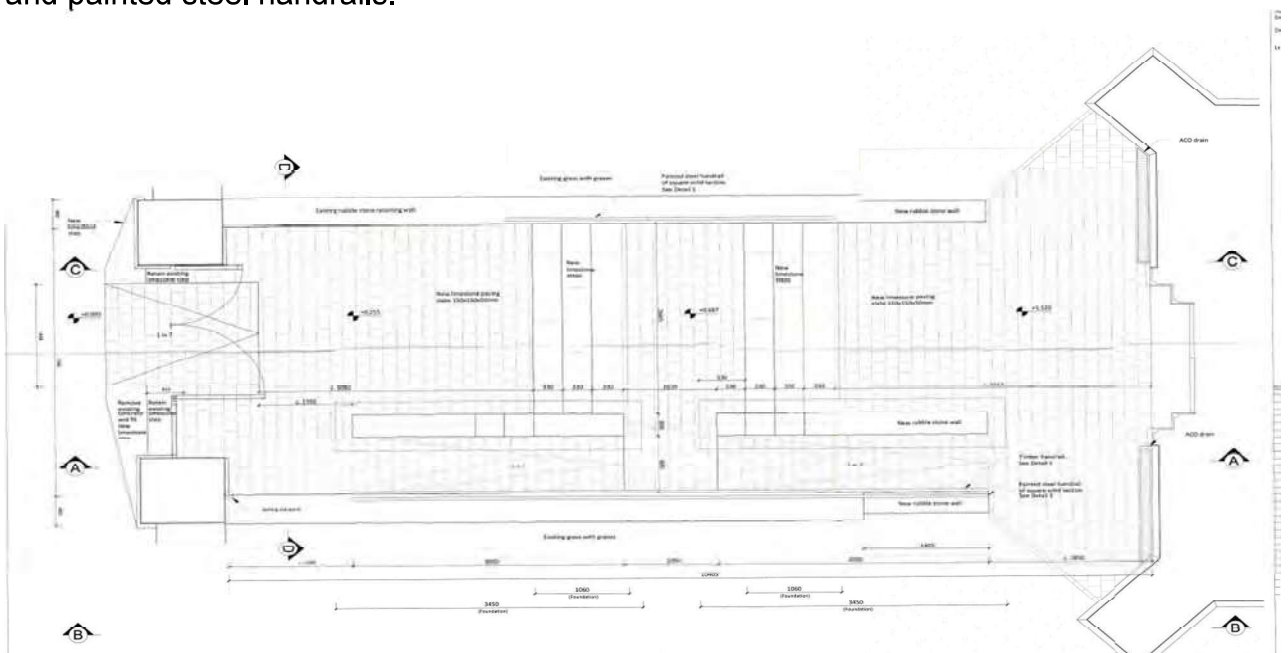


Fig 3: Site layout.

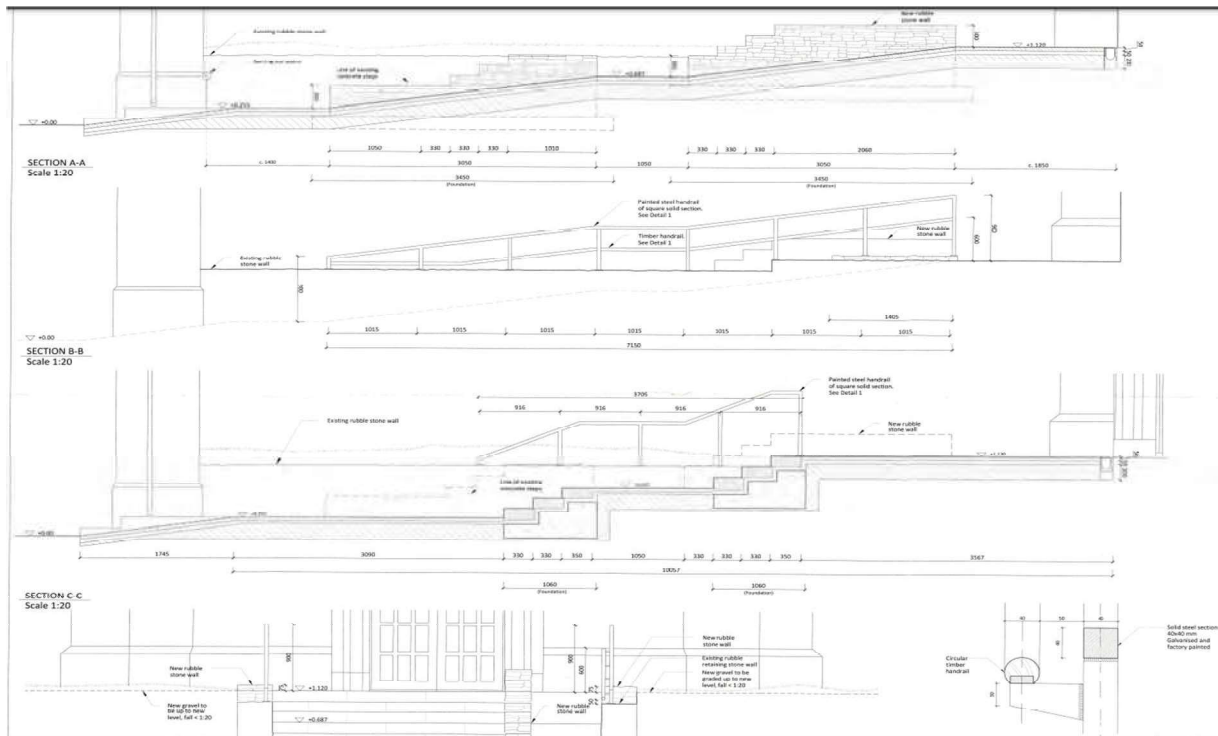


Fig 4: Handrail detail

Planning History

None traced.

Relevant Legislative Background

Planning and Development Act 2000 (as amended)

Section 2(1)

'works' includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

"protected structure" means-

(a) a structure, or

(b) a specified part of a structure,

which is included in a record of protected structures, and, where that record so indicates, includes any specified feature which is within the attendant grounds of the structure and which would not otherwise be included in this definition;

Section 3(1)

In this Act, 'development' means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Include other relevant sections of the act. E.g. (below)

Section 4(1)

The following shall be exempted development for the purposes of the Act-

(h) development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

Section 57

Notwithstanding Section 4(1)(a), (h), (i), (j), (k), or (l) and any regulations made under Section 4(2), the carrying out of works to a protected structure, or a proposed protected structure shall be exempted development only if those works would not materially affect the character of-

- 1. The structure, or*
- 2. Any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.*

Section 5(7) EIA Screening

The proposed development is not specified in Part 2 of Schedule 5 of the Planning and Development Regulations 2001(as amended). In any event, it is considered, having regard to nature, size and location, the proposed development would not be likely to have significant effects on the environment. Therefore, EIA is not required.

Planning and Development Regulations 2001 (as amended)

Article 6(1)

Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

Article 9 (1)(a)(i)

Restrictions on exemption.

9. (1) Development to which article 6 relates shall not be exempted development for the purposes of the Act—

(a) if the carrying out of such development would-

None are relevant to this Section 5 Application.

Assessment

External Paving Works, (RPS B26-34) NIAH 1181604 Rating of Regional Importance. The site is also located within the ACA of Monasterevin.

A conservation method statement has been included which states the proposed development comprises of the following:

- removal of existing concrete entrance steps and ramp. Note that the existing steps and ramp are not Part K or Part M compliant, and do not have handrails.
- Reinstatement of limestone paved ramp with handrail, Part K compliant limestone steps with handrails and limestone paving.
- Repointing to rubble stone walls to either side of entrance steps.

All works are to follow conservation best practice, as set out in the method statement. All works to be approved by architect and samples of all items such as all materials to be used, paving setting out, raking out detail, pointing detail, handrail detail and metal work finish.

All proposed works will be monitored on site by an archaeologist given the location of the proposed works in close proximity to the graveyard.

It is considered the proposed works will not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure and the works would not materially affect the character of the structure, or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest and is therefore considered to be exempted development pursuant to Section 4(1)(h) & Section 57 (1) (b) of the Planning and Development Act 2000, as amended.

Conclusion

Having regard to:

- Sections 2, 3, 4, 5 & 57 of the Planning and Development Act 2000 (as amended); and
- The nature, extent and purpose of the works;

The proposed works are considered to be “development” as defined in Section 3(1) of the Planning and Development Act 2000 (as amended) and exempted development pursuant to Section 4(1)(h) and Section 57(1) of the Planning and Development Act 2000 (as amended):

Recommendation

It is recommended that the applicant be advised that the development as described in the application is development and is exempted development.

Signed: _____

L. Murphy

Executive Planner

Date: 13/11/2023



Bébhinn O'Shea
Senior Executive Planner

17/11/2023



Aoife Brangan

A/SP

21/11/23

Declaration of Development & Exempted Development under

Section 5 of the Planning and Development Act 2000 (as amended)

WHEREAS a question has arisen as to whether external paving works is or is not exempt development

AS INDICATED on the plans and particulars received by the Planning Authority on 24/10/2023

AND WHEREAS Leslie Stevenson requested a declaration on the said question from Kildare County Council,

AND WHEREAS Kildare County Council as the Planning Authority, in considering this application for a declaration under Section 5 of the Planning and Development Act 2000 (as amended), had regard to;

- (a) Planning and Development Act 2000 (as amended); and
- (b) Planning and Development Regulations 2001 (as amended);

AND WHEREAS Kildare County Council has concluded that the proposal comprises of development to which the provisions of the following applies:

- (a) Sections 2, 3, 4, 5 & 57 of the Planning and Development Act 2000 (as amended);
- (b) The nature, extent and purpose of the works,

NOW THEREFORE Kildare County Council, in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended), hereby decides that -


external paving works

IS development and IS EXEMPTED development pursuant to Sections 2, 3, 4, 5 & 57 of the Planning and Development Act as amended

Please note that any person issued with a declaration under Section 5 of the Planning and Development Act 2000 (as amended) may on payment to the Board of the prescribed fee, refer a declaration to An Bord Pleanála within 4 weeks of the issuing of the decision.

Signed: _____

Appendix 1: Appropriate Assessment Screening

	APPROPRIATE ASSESSMENT SCREENING REPORT AND DETERMINATION
---	--

(A) Project Details	
Planning File Ref	ED1075
Applicant name	Leslie Stevenson
Development Location	St John's Church, Main Street, Monasterevin, Co. Kildare W34 KR80
Site size	Unknown
Application accompanied by an EIS (Yes/NO)	N/A
Distance from Natura 2000 site in km	The River Barrow River Noer SAC is 45m to the southwest of the site on the other side of the Main Street.
Description of the project/proposed development – External paving works	

(B) Identification of Natura 2000 sites which may be impacted by the proposed development			
			Yes/No If answer is yes, identify list name of Natura 2000 site likely to be impacted.
1	Impacts on sites designated for freshwater habitats or species.	<i>Is the development within a Special Area of Conservation whose qualifying interests</i>	No

	<u>Sites to consider:</u> River Barrow and Nore, Rye Water/Carton Valley, Pollardstown Fen, Ballynafagh lake	<i>include freshwater habitats and/or species, or in the catchment (upstream or downstream) of same?</i>	
2	Impacts on sites designated for wetland habitats - bogs, fens, marshes and heath. <u>Sites to consider:</u> River Barrow and Nore, Rye Water/Carton Valley, Pollardstown Fen, Mouds Bog, Ballynafagh Bog, Red Bog, Ballynafagh Lake	<i>Is the development within a Special Area of Conservation whose qualifying interests include wetland habitats (bog, marsh, fen or heath), or within 1 km of same?</i>	Yes
3	Impacts on designated terrestrial habitats. <u>Sites to consider:</u> River Barrow and Nore, Rye Water/Carton Valley, Pollardstown Fen, Ballynafagh Lake	<i>Is the development within a Special Area of Conservation whose qualifying interests include woodlands, dunes or grasslands, or within 100m of same?</i>	Yes
4	Impacts on birds in SPAs <u>Sites to consider:</u> Poulaphouca Reservoir	<i>Is the development within a Special Protection Area, or within 5 km of same?</i>	No

Conclusion:

If the answer to all of the above is **No**, significant impacts can be ruled out for habitats and bird species.

No further assessment in relation to habitats or birds is required.

If the answer is **Yes** refer to the relevant sections of **C**.
habitats and bird species.

(C) Identification of Potential Impacts on Habitats and Birds.

1	<p>Impacts on designated rivers, streams, lakes and fresh water dependent habitats and species.</p> <p><i>Answer the following if the answer to question 1 in table B was YES</i></p> <p><i>Does the development involve any of the following:</i></p>
----------	--

1.1	Works within the boundary of a Special Area of Conservation excluding small extensions/alterations to existing buildings.	No
1.2	Discharge to surface water or groundwater within 5km of SAC.	Unknown
1.3	Abstraction from surface water or groundwater within 5km of SAC.	No
1.4	Removal of topsoil within 500m of watercourses	No
1.5	Infilling or raising of ground levels within 100m of watercourses	No
1.6	Construction of drainage ditches within 1km of SAC.	No
1.7	Installation of waste water treatment systems; percolation areas; septic tanks within 500 m of watercourses	No
1.8	Construction within a floodplain or within an area liable to flood	No
1.9	Crossing or culverting of rivers or streams within 5km of SAC	No
1.10	Storage of chemicals, hydrocarbons or organic wastes within 1km of a watercourse	No
1.11	Development of a large scale which involves the production of an EIS	No
1.12	Development of quarries/mines	No
1.13	Development of windfarms	No
1.14	Development of pumped hydro electric stations	No
1.15	Construction of roads or other infrastructure on peat habitats within 1km rivers, streams, lakes and fresh water dependant habitats	No
2	Impacts on designated wetlands - bogs, fens, marshes and heath. <i>Answer the following if the answer to question 2 in table B was YES</i> <i>Does the development involve any of the following:</i>	
2.1	Works within the boundary of a Special Area of Conservation excluding small extensions/alterations to existing buildings.	No

2.2	Construction of roads or other infrastructure on peat habitats within 1km of bog, marsh, fen or heath habitat within a Natura 2000 site	No
2.3	Development of a large scale within 1km of bog, marsh, fen or heath habitat within a Natura 2000 site which involves the production of an EIS	No
3	<p align="center">Impacts on other designated terrestrial habitats (woodland, grasslands)</p> <p align="center"><i>Please answer the following if the answer to question 3 in table B</i></p> <p align="center"><i>YES</i></p> <p align="center"><i>Does the development involve any of the following:</i></p>	
3.1	Works within the boundary of a Special Area of Conservation.	No
3.2	Development within 200m of Natura 2000 site with woodland, grassland or coastal habitats.	No
3.3	Development of a large scale within 1km of Natura 2000 site with woodland, grassland or coastal habitats which involves the production of an EIS.	No

(G) SCREENING CONCLUSION STATEMENT		
<i>Selected relevant category for project assessed by ticking box.</i>		
1	AA is not required because the project is directly connected with/necessary to the conservation management of the site	
2	No potential significant affects/AA is not required	X
3	Significant effects are certain, likely or uncertain. Seek a Natura Impact Statement Reject proposal. (Reject if potentially damaging/inappropriate)	
Justify why it falls into relevant category above (based on information in above tables)		
Having regard to the proximity of the nearest SAC and given the nature and extent of the proposed development, it is not considered there would be potential for significant effects on the Natura 2000 network.		
Name:	L. Murphy	
Position:	Executive Planner	
Date:	13/11/2023	

COMHAIRLE CONTAE CHILL DARA

KILDARE COUNTY COUNCIL

Director of Services Order



I, Alan Dunney, Director of Services, am duly authorised and delegated by Chief Executive's Order number: CE48043 to make the following Order in accordance with Section 154 of the Local Government Act, 2001, as amended.

ORDER NO: DO50568 **Section:** Planning

SUBJECT: ED/1075.
Application for a Declaration of Exempted Development under Section 5 of Planning and Development Act 2000 (as amended) for development at St. Johns Church, Monasterevin, Co. Kildare.

SUBMITTED: File Ref. ED/1075 with recommendation from the A/Senior Planner and reports from the Council's Technical Officers.

ORDER:  I hereby order the following Kildare County Council, in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended) hereby decides that the proposed development is development and is exempted development.

MADE THIS 9th DAY
OF January YEAR 2024

SIGNED: Alan Dunney
DIRECTOR OF SERVICES

Kildare County Council
Declaration of Exempt Development under Section 5,
of the Planning and Development Act 2000



Incomplete application forms will
be deemed invalid and returned



All responses must be in block
letters

Section 1	Details of Applicants
------------------	------------------------------

1. Name of Applicant(s) A. Surname STEVENSON Forenames LESLIE
 Phone No. [REDACTED] Fax No. [REDACTED]
 2. Address PORTARLINGTON UNION OF PARISHES, THE RECTORY, BRACKLONE STREET,
PORTARLINGTON, CO. LAOIS

Section 2	Person/Agent acting on behalf of applicant (if applicable)
------------------	---

1. Name of Person/Agent: Surname MCLOUGHLIN Forenames RICHARD
 Phone No. 086 385 6755 Fax No. [REDACTED]
 2. Address LOTT'S ARCHITECTURE, 22 SOUTH WILLIAM STREET, DUBLIN 2 D02 H394

Section 3	Company Details (if applicable)
------------------	--

1. Name of Company LOTT'S ARCHITECTURE AND URBANISM LTD.
 Phone No. 01 677 1006 Fax No. [REDACTED]
 2. Company Reg. No. 408083
 3. Address 22 SOUTH WILLIAM STREET, DUBLIN 2 D02 H394

Section 4	Details of Site
------------------	------------------------

1. Planning History of Site NONE
 2. Location of Proposed Development ST. JOHN'S CHURCH, MONASTEREVIN, CO. KILDARE
 3. Ordnance Survey Sheet No. 3715-04, 3715-09
 4. Please state the Applicants interest in the site OWNER
 5. Please state the extent of the proposed development. EXTERNAL PAVING WORKS

6. Under what Section of the Planning and Development 2000 and/or what provision of the Planning and Development Regulations 2001 is exemption sought (*specific details required*).....

WORKS AFFECTING THE CHARACTER OF A PROTECTED STRUCTURE (SECTION 57).....

7. Please give a detailed description of the Proposed Development (*Use separate page if necessary*).....

SEE ATTACHED METHOD STATEMENT.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

Section 5	The following must be submitted for a valid application
------------------	--

(Please Tick)

1.	Site Location Map (1:2500 Rural Areas) (1:1000 Urban Areas)	/
2.	A Site Layout Plan (Scale 1:500) in full compliance with Article 23 of Planning and Development Regulations 2001	/
3.	Drawings of the development (Scale 1:50) in full compliance with Article 23 of Planning and Development Regulations 2001	/
4.	All drawings to differentiate between the original building, all extensions and proposed development	/
5.	Fee of 80 Euro	/

Section 6	Declaration
------------------	--------------------

I, RICHARD MCLOUGHLIN certify that all of the above information is correct and I have submitted all the required documents as outlined at Section 6 above.

Signature: Richard McLoughlin Date: 20/10/23

lotts

architecture and urbanism ltd

22 William Street South, Dublin D02 H394
tel. 01 677 1006

email: richard@lotts.ie
www.lotts.ie

RIAI ACCREDITED CONSERVATION ARCHITECT GRADE I

Planning Department,
Kildare County Council
Devoy Park,
Naas,
Co. Kildare,
W91 X77F

20 October 2023

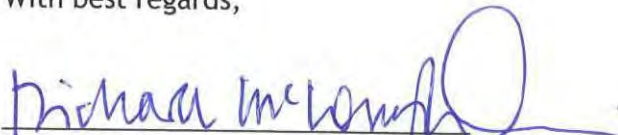
**Re: External paving works to St. John's Church,
Main Street, Monasterevin, Co. Kildare W34 KR80
Section 5 Application**

Dear Sir/Madam,

Enclosed please find the following application documents for a Declaration on Exempted Development under Section 5 of the Planning and Development Act 2000 for paving upgrade works within the curtilage of St. John's Church, Monasterevin, which is a protected structure.

- Completed application form
- Site Location map
- Conservation Method Statement
- Drawing No. 255-P01 Plan
- Drawing No. 255-P02 Sections
- Cheque for application fee of €80.00

With best regards,



Richard McLoughlin BArch MSc MRIAI
RIAI Conservation Architect Grade I
Director
Lotts Architecture and Urbanism Ltd



Directors

Desmond Byrne BArch MRIAI – Richard McLoughlin BArch MSc MRIAI
Registered in Ireland no. 408083 VAT no. 6428083T

Site Location Map



Tailte
Éireann

**CENTRE
COORDINATES:**
ITM 662655,710265

PUBLISHED:
19/10/2023
ORDER NO.:
50363761_1

MAP SERIES:
6 Inch Raster
6 Inch Raster
6 Inch Raster
KE021
KE026
LS005

COMPILED AND PUBLISHED BY:
National Mapping Division of
Tailte Éireann,
Phoenix Park,
Dublin 8,
Ireland.
D08F6E4

www.tailte.ie

Any unauthorised reproduction
infringes Tailte Éireann copyright.

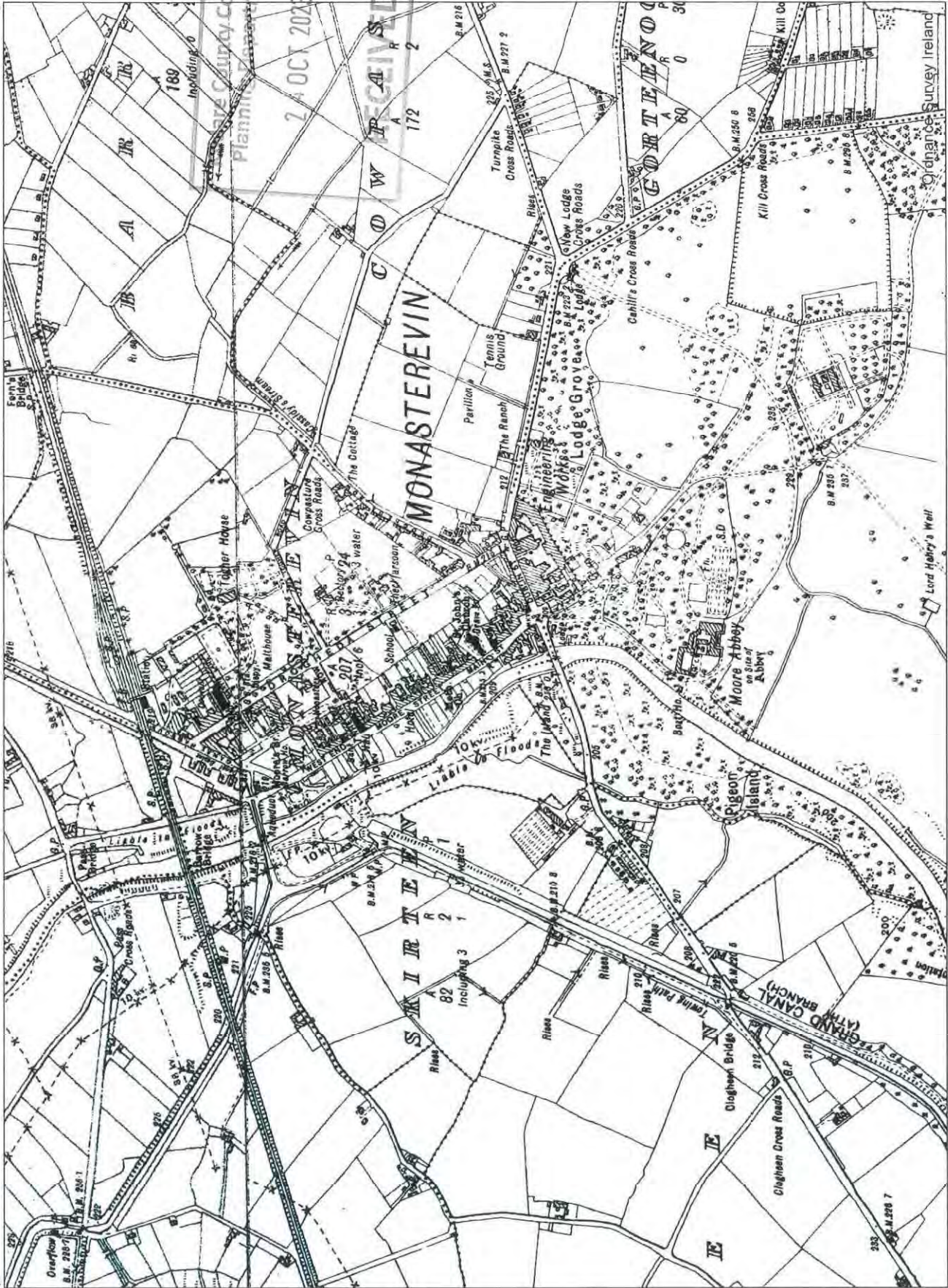
No part of this publication may
be copied, reproduced or transmitted
in any form or by any means without
the prior written permission of the
copyright owner.

The representation on this map
of a road, track or footpath
is not evidence of the existence
of a right of way.

Topographic maps produced by the
National Mapping Division of Tailte
Éireann never show legal property
boundaries, nor do they show
ownership of physical features.

© National Mapping Division of Tailte
Éireann, 2023. All rights reserved.

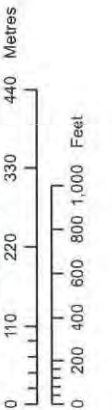
This map was produced by
the National Mapping Division
of Tailte Éireann, formerly
Ordnance Survey Ireland (OSI)



LEGEND:
To view the legend visit
www.osi.ie and search for
'Large Scale Legend'

CAPTURE RESOLUTION:
The map objects are only accurate to the
resolution at which they were captured.
Output scale is not indicative of data capture scale.
Further information is available at:
www.osi.ie, search 'Capture Resolution'

OUTPUT SCALE: 1:10,560



Kildare County Council
Planning Department

24 OCT 2023

RECEIVED



Planning Pack Map



**Tailte
Éireann**

**CENTRE
COORDINATES:**
ITM 662655,710265

PUBLISHED:
19/10/2023
50363761_1

MAP SERIES:
1:1,000
3715-04
1:1,000
3715-09

COMPILED AND PUBLISHED BY:
National Mapping Division of
Tailte Éireann,
Phoenix Park,
Dublin 8,
Ireland.
D08F6E4
www.tailte.ie

Any unauthorised reproduction
infringes Tailte Éireann copyright.

No part of this publication may
be copied, reproduced or transmitted
in any form or by any means without
the prior written permission of the
copyright owner.

The representation on this map
of a road, track or footpath
is not evidence of the existence
of a right of way.

Topographic maps produced by the
National Mapping Division of Tailte
Éireann never show legal property
boundaries, nor do they show
ownership of physical features.

© National Mapping Division of Tailte
Éireann, 2023. All rights reserved.

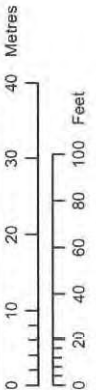
This map was produced by
the National Mapping Division
of Tailte Éireann, formerly
Ordnance Survey Ireland (OSI)



LEGEND:
To view the legend visit
www.osi.ie and search for
'Large Scale Legend'

CAPTURE RESOLUTION:
The map objects are only accurate to the
resolution at which they were captured.
Output scale is not indicative of data capture scale.
Further information is available at:
www.osi.ie; search 'Capture Resolution'

OUTPUT SCALE: 1:1,000



lotts

architecture and urbanism ltd

22 William Street South, Dublin 2
Tel/Fax 01 677 1006

email: richard@lotts.ie
www.lotts.ie

RIAI ACCREDITED CONSERVATION PRACTICE GRADE I

CONSERVATION METHOD STATEMENT for Section 5 Declaration



Project Title: **EXTERNAL PAVING WORKS TO ST JOHN'S CHURCH,
Main Street, Monasterevin, Co, Kildare**

Client: **Portarlington Union of Parishes**

Date: **October 2023**



Directors

Desmond Byrne BArch MRPI – Richard McLoughlin BArch MSc MRPI
Registered in Ireland no. 408083 VAT no. 6428083T

Introduction

NIAH Record

Registration No. 11816024; Rating 'Regional'.

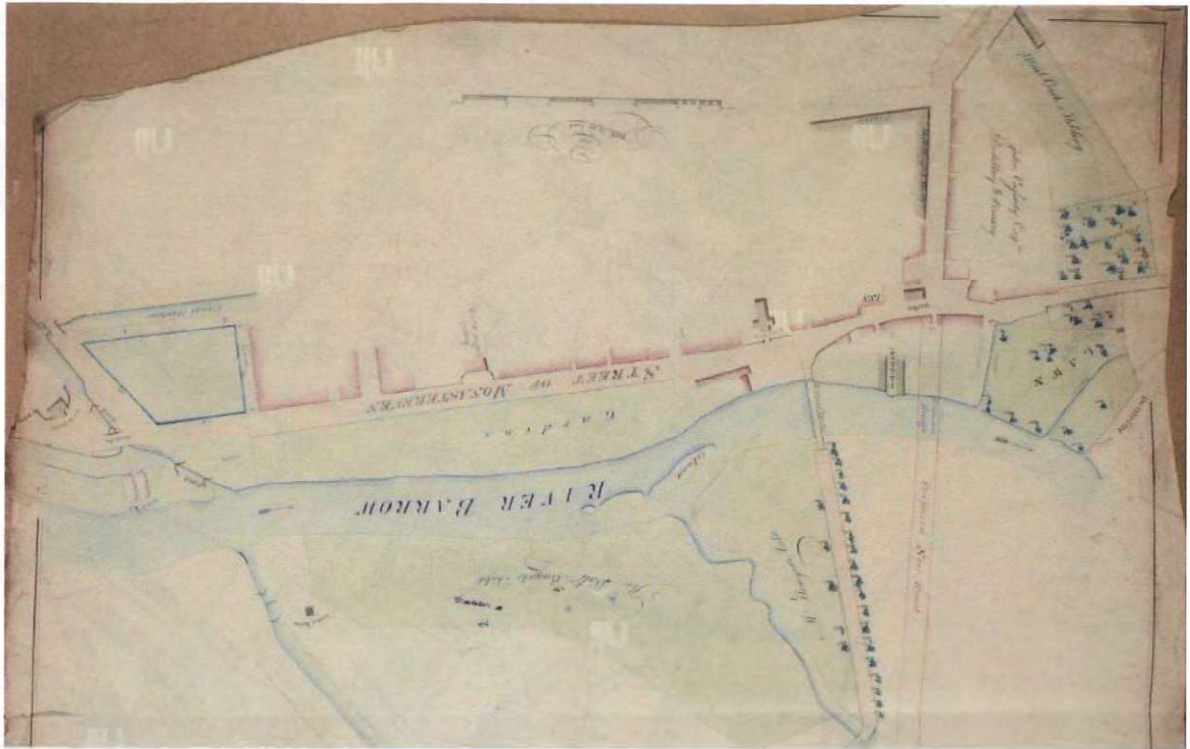
– Description:

Detached four-bay double-height Gothic-style Church of Ireland church, opened 1772, with single-bay single-storey vestry projection to north-west and single-bay three-stage entrance tower to south-west on a square plan with battlemented parapet. Gable-ended roofs with slate. Red clay ridge tiles. Rendered coping to gables. Cast-iron rainwater goods on eaves course. Roof to tower not visible behind parapet wall. Lime rendered walls. Unpainted. Rendered dressings including surrounds to gables to nave forming 'pediments'. Diagonal stepped buttresses to tower with triangular motifs. Rendered string/sill courses to each stage. Battlemented parapet wall to tower on stringcourse with corner pinnacles. Lancet-arch window openings. Cut-limestone chamfered sills and reveals with hood mouldings over. Fixed-pane windows to nave. Lancet-arch openings to upper stages to tower. Rendered sill course to each stage. Rendered surrounds. Louvered timber panels. Pointed-arch door opening approached by flight of three stone steps. Moulded cut-stone surround with hood moulding over. Replacement timber panelled door, c.1980. Overlight. Set back from road in own grounds. Graveyard to site with various cut-stone grave markers, c.1820-c.1920. Gateway to south-east comprising pair of cut-limestone piers with decorative wrought iron double gates having decorative overpanel and rubble stone flanking boundary wall with iron railings over.

– Appraisal:

The design of the original church has been attributed to the architect Christopher Myers by Dr. F O'Dwyer. He was probably commissioned by Charles, 6th Earl of Drogheda. A brass plate, on one of the pews, records its opening in 1772, although 1820 is indicated on the gallery, perhaps reflecting ongoing works on the building. Stained glass window (1918) by A.E. Child. It is of social interest as the ecclesiastical centre for the Church of Ireland community in the locality. The church is without superfluous ornamentation and employs little detailing with the exception of diagonal buttresses and rendered stringcourses to the tower, both of which are given a structural role in the design (the buttresses appear to support the tower, while the stringcourses double as continuous sill courses), together with simple surrounds to the openings. The building relies on the regular displacement of slender lancet-arch openings for visual variety, with the emphasis of the composition placed on the soaring tower to south-west that serves to identify the church in the surrounding landscape, the battlemented parapet with pinnacles articulating the skyline. The church retains most of its original form and character, with early features and materials in situ, including fittings to the window openings, and slate roofs having cast-iron rainwater goods. It is possible that the interior also retains early or original features and fittings of significance. Set back slightly from the line of the road, the church adds variety to the streetscape of Main Street, interrupting the established streetline of the flanking terraces. It is surrounded by an attendant graveyard, the markers of which are of some artistic interest. Also of artistic interest is the intricate gateway to south-west, a good example of early decorative iron work.

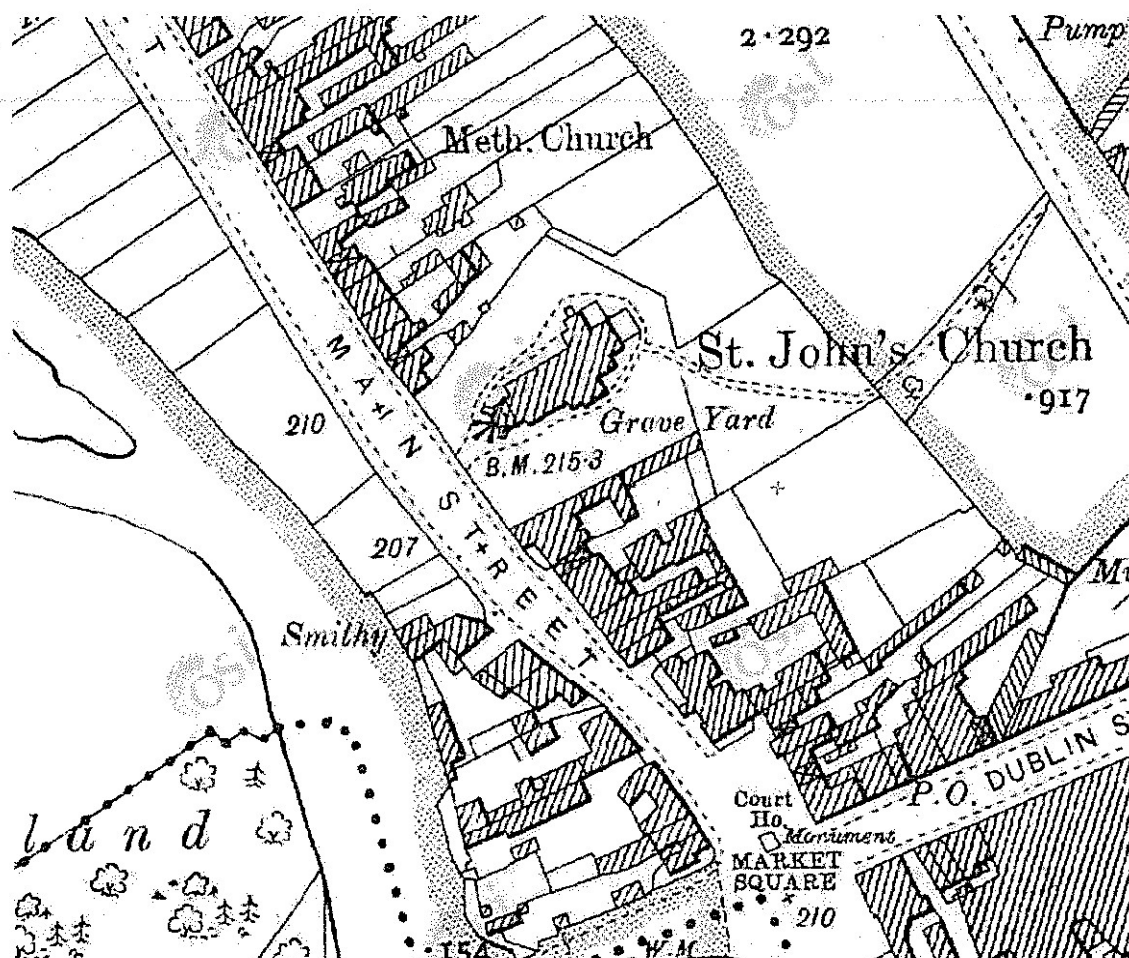




John Longfield map, 1807 (National Library of Ireland)



John Longfield map (undated), surveyed prior to redirection of main road in 1832.



25" OS map 1888 - 1913 (OSI)

Proposed Works

- Removal of existing concrete entrance steps and ramp. Note that the existing steps and ramp are not Part K or Part M compliant and do not have handrails.
- Reinstatement of limestone paved ramp with handrail, Part K compliant limestone steps with handrails, and limestone paving.
- Repointing to rubble stone walls to either side of entrance steps

Proposed Conservation Approach

Conservation standards: All works to follow conservation best practice, as set out in this document. During works refer to architect at all times where questions arise, work is uncovered, or detail decisions are required.

Samples of all items to be approved by the architect before work progresses. Samples will include:

- All materials to be used
- Paving setting out
- Raking out detail
- Pointing detail
- Handrail detail
- Metalwork finish



St John's Church is not an archaeological site however excavation will be taking place in proximity to the graveyard. It is therefore proposed that all below ground work will be monitored on site by the project archaeologist.

In addition to the general principles articulated above all works should comply so far as reasonably possible with 'Technical Guidance Document K- Stairways, Ladders, Ramps and Guards', and 'Technical Guidance Document M - Access and Use'.

Conservation Principles

All works to the building to be carried out in accordance with best conservation practice, as defined by the International Council on Monuments and Sites (ICOMOS) in the Venice Charter of 1964, and in subsequent charters. The following basic principles should be adhered to at all times:

- Conservation work should be based on an understanding of the building and its historical development and the primary aim should be to retain and recover the significance of the building.
- Any alterations should be carried out in accordance with the principle of 'minimal intervention'.
- Repairs to original fabric should always be favoured over replacement. Where replacement of an original element is unavoidable, this should be historically accurate in form and materials.
- Where lost elements must be reconstructed, these should aim for historic authenticity and avoid conjecture in as far as possible.
- Modern interventions should be reversible and if appropriate visually identifiable. New work should be recorded.
- Works should be carried out by suitably skilled craftspeople with proven expertise in their trade working with historic buildings.

Landscape Protection

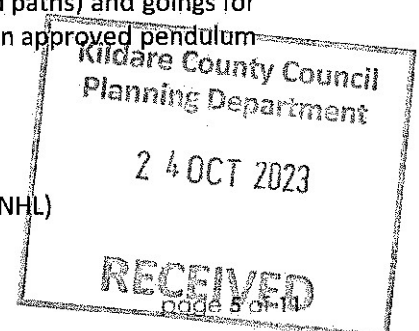
- The Contractor shall provide adequate temporary protection to the whole of their work and shall include temporary coverings, planked barrow runs and all other measures for protecting the work from damage.
- The Contractor shall also protect from damage all existing roadways, kerbs, services and other completed works on site.
- Any work damaged or soiled by weather, traffic or other causes due to inadequate temporary protection shall be removed and made good at the cost of the Contractor. The form of protection is left to the discretion of the Contractor.

Limestone Paving

- Irish Blue limestone paving to have bush-hammered surface to meet slip resistance Dry: TRL 77 and Wet: 78
- The slip resistance factor is to be measured for pavers (landings and paths) and goings for steps and conform to regulations. Measuring must be made using an approved pendulum method.

Lime for mortar and render

- Lime for pointing and bedding mortar to be natural hydraulic lime (NHL)



NHL 2: Weaker, fatter, more breathable and flexible

NHL 3.5: Suitable for most exterior work

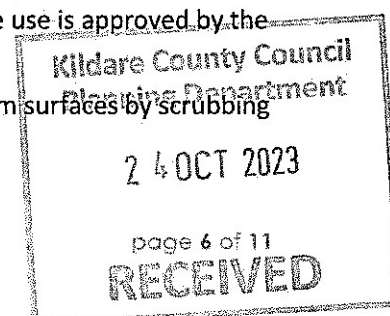
NHL 5: Stronger, less breathable and flexible, for very exposed conditions

Manufacturers: St. Astier, Otterbein, Round Tower lime, or approved equivalent

- Alternative: Non-hydraulic lime putty. Consult architect for correct use.
- Suppliers:
 - Heritage Traditional Building Products, 46-48 Doury Road, Ballymena, Co Antrim BT43 6JB, Tel: 0044 28 2568 5055, E-mail: info@heritageltd.com.
www.heritageltd.com
 - Traditional Lime Company, Rath, Shillelagh Road, Tullow, Co. Carlow.
Contact Edward Byrne, tel. 059 915 1750, email: info@traditionallime.com,
www.traditionallime.com
- Mix proportions: 2.5 parts sand to 1 part NHL 2 or NHL 3.5 lime as binder.
- NB: Apart from water, no other additives to be used.
- Sand: Coarse, sharp, well-graded from 6mm particles down to fine sand, to ensure volume of voids as small as possible. Darker particles will lessen the whiteness of the mortar. Sample to be approved in advance by architect.
- Sand to be hard, durable, clean and free from adherent coatings such as clay. Ideally source sand from local sand pits.
- Proportion of water to binder to be the least possible required to give mortar of adequate workability.
- Mortar to be very well mixed, 'balling' to be avoided. If using a drum mixer, mix for at least 20 minutes and take particular care to avoid adding too much water.
- Leave mortar to stand for 20 minutes to allow lime to "fatten up" and improve its workability. Mix again briefly with shovel or mixer immediately before using.
- Use all hydraulic mortar within 2 hrs of mixing. Do not knock up, re-temper or use mortar that has begun to stiffen.
- Do not use if air temperature is at or below 5°C and falling, or below 3°C and rising. Maintain work above freezing until fully hardened.

Pointing repairs

- Bat protection: Check crevices with torch to make sure no roosting or hibernating bat is present. Where bats are found remove gently with a pair of gloves and return to a safe crevice in another undisturbed location.
- Repoint only where existing pointing has been washed out and stability of stonework is affected, or where new render is to be applied. Retain open crevices which can be used as bat roosts. Do not remove sound pointing for sake of visual uniformity. Areas to be repointed to be identified in consultation with architect.
- Rake out loose mortar with hand tools, retaining any 'pinnings', i.e. chips of stone set into joints. Avoid use of power tools (exercise extreme care in cases where use is approved by the architect).
- Remove any ferrous items. Any traces of mould oil to be removed from surfaces by scrubbing with water containing detergent and rinsed with fresh water.



- Dry-brush to remove all loose particles. Remove all organic growth from within the joint.
- Dry masonry can draw moisture from lime mortar before it has cured and cause it to crumble and fail. Dampen surfaces as well as necessary to equalise suction before pointing. Particular attention must be paid to more absorbent areas. Surfaces must be wetted and re-wetted as work proceeds.
- Mortar to be of lime-sand in proportion 1:2.5 using traditional hydraulic lime NHL 3.5 and coarse sharp sand aggregate from local sand pits. No mortars using Portland cement to be used.
- Pinnings (chips of stone) to be inserted into wider joints to ensure a maximum joint width of c. 20mm.
- Joints to be pointed flush to surface of stone or slightly recessed where arrises are rounded.
- Finished joint to be beaten with a stiff brush to close shrinkage cracks and expose sand aggregate.

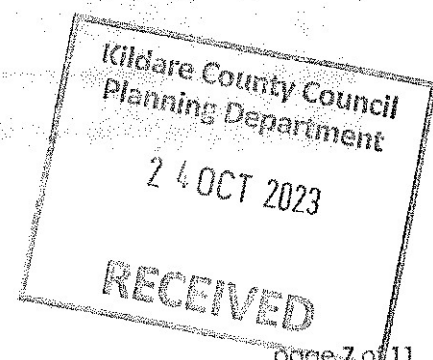
Protection of lime work

- Setting of lime mortar occurs primarily by carbonation (i.e. contact to CO₂ in the air with very gradual release of water). Full carbonation will take several weeks and it is important that the mortar is protected from rapid drying out. Work should be carefully covered at the end of day's work with damp hessian sacking and polythene sheets to ensure that render/plaster/pointing does not dry out before it cures.
- Extra care must be taken with porous masonry and in warm or windy weather conditions.
- To ensure adequate setting, work must be protected at all times from frost, rain, sunlight and drying winds for 2 days in summer, and up to 7 days in winter using tarpaulin and straw.
- Keep finished work damp by spraying intermittently with clean water.

Health and safety using lime

- All lime and lime mortars are caustic and can dehydrate the skin. When using wear gloves, goggles, protective overalls, and if handling over prolonged periods barrier cream to protect exposed parts of the body.
- When using bagged lime in powder form, wear a dust mask to protect the lungs.
- All lime on the skin should be washed off as soon as possible. Keep a supply of clean water close at hand.
- Lime in the eye should be removed immediately and the eye washed out with distilled or clean water for at least 20 minutes. An eye wash bottle should always be kept at hand for this purpose.
- Seek medical attention where washing out does not alleviate the injury.

Richard McLoughlin BArch MSc MRIAI
RIAI Conservation Architect Grade I
Lotts Architecture and Urbanism Ltd



Church Entrance





Kildare County Council
Planning Department

24 OCT 2023

RECEIVED





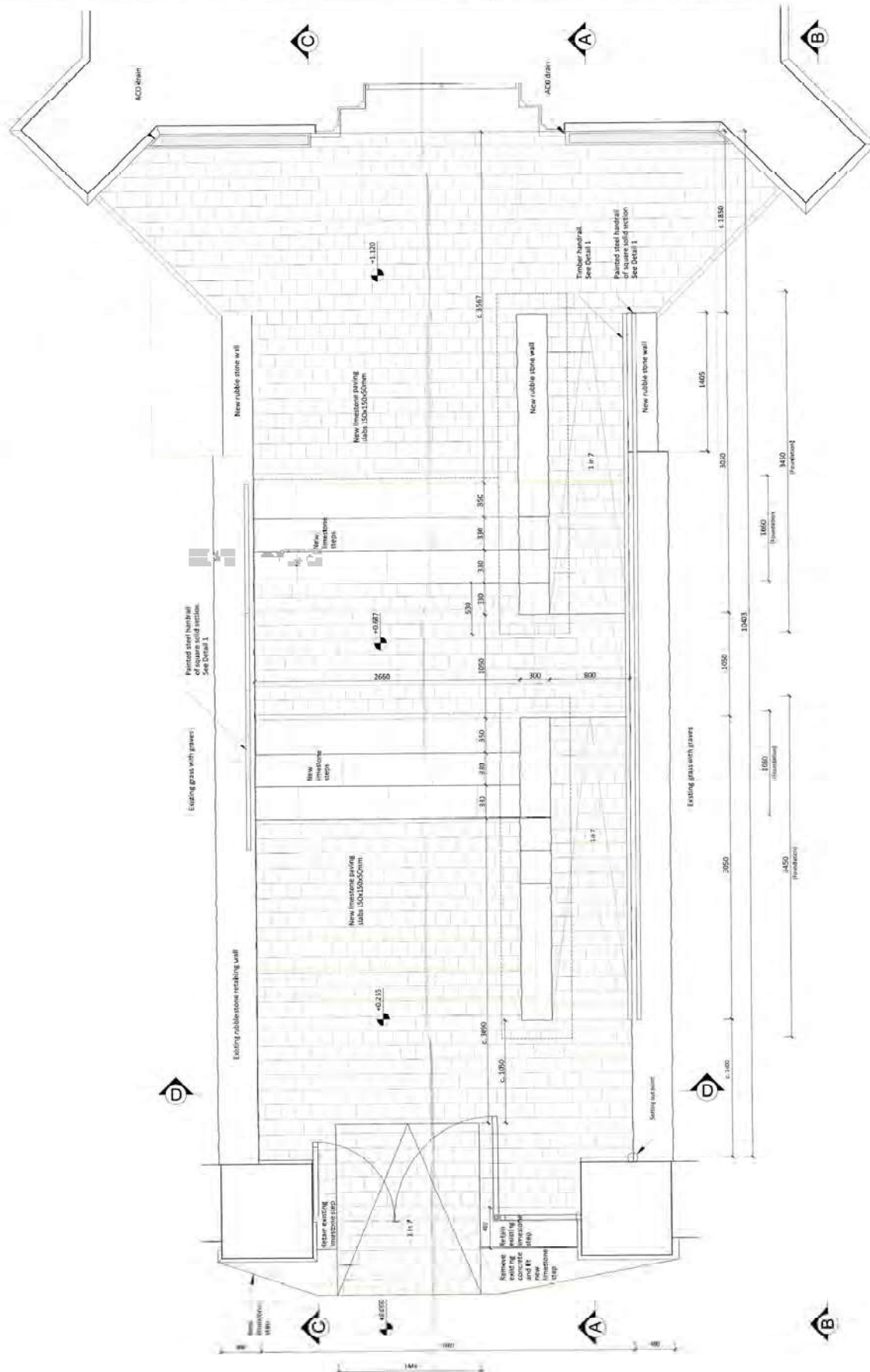
This drawing is the copyright of Lotts Architecture and Urbanism Ltd.

This drawing is to be read in conjunction with specifications and all other consultants' drawings.

Architects must be informed of any discrepancies
before work begins.

Do not score off drawings.

07/2009



lotts

lots

22. *Source: estimated from Exhibit 2*
 23. *Source: Exhibit 2*

© 2006 Blackwell Publishing Ltd, *Journal of Internal Medicine* 260: 395–403

PAVING WORKS at ST JOHN'S CHURCH,
Main Street, Monasterevin, Co. Kildare

Porterlington Union of Parishes

PLAN

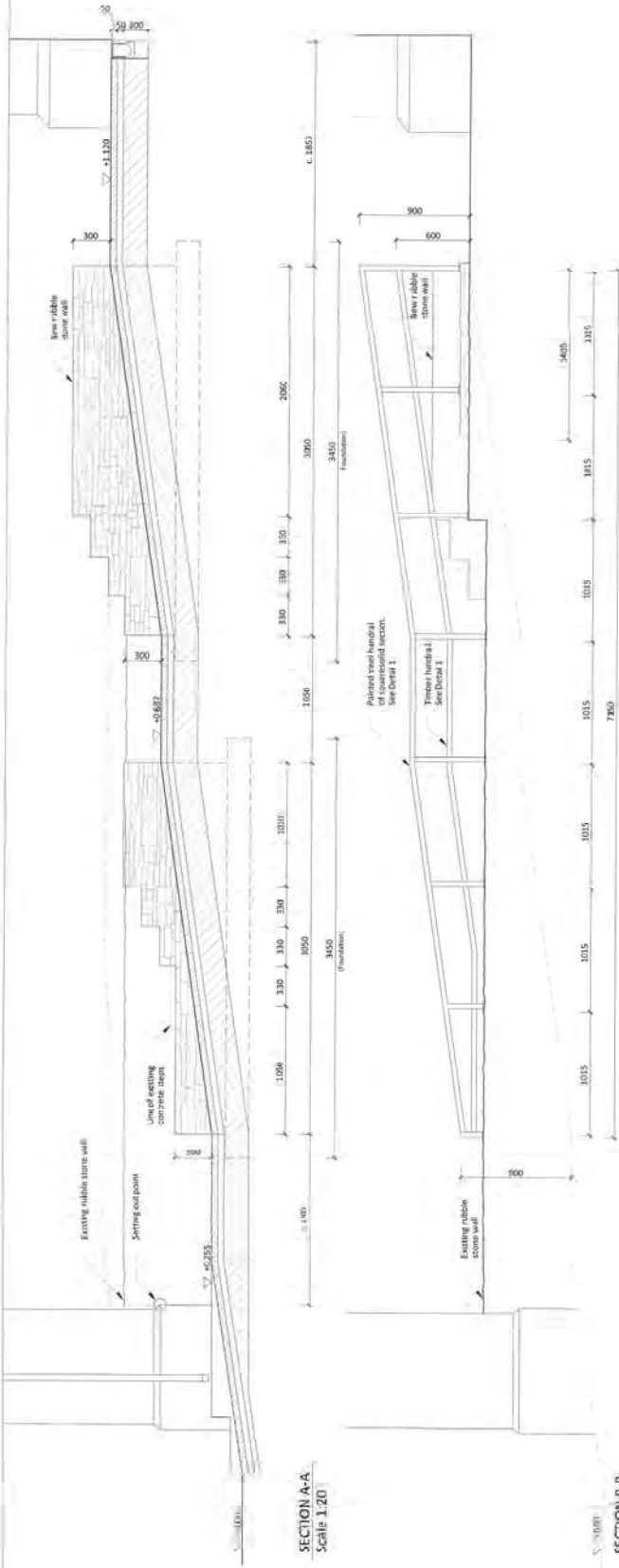
PLAN
Scale 1:20

255-(01

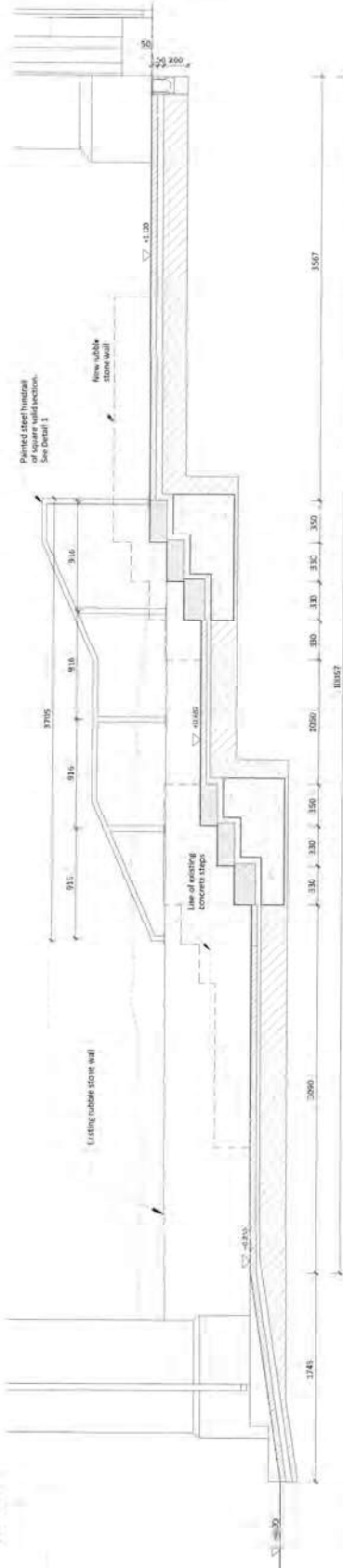
Notes:

The ground is the coverage of Lotts Architecture and Urbanism Ltd.
This drawing is to be used in conjunction with the specification and all other associated drawings.
All dimensions to be rounded up to the nearest millimetre.
Architectural details to be shown in all elevations before work commences.
For full copy of drawings.

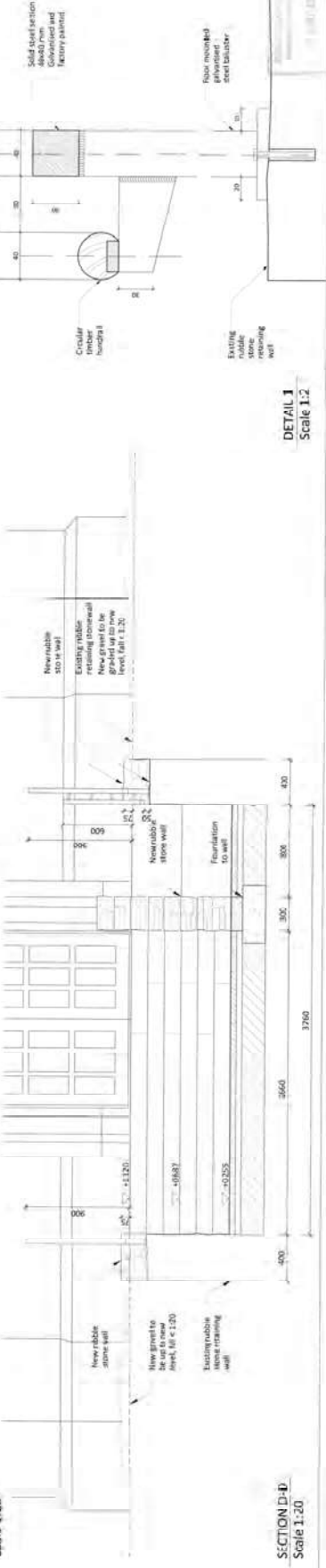
Figure 1



SECTION B-B
Scale 1:20



SECTION C-C
Scale 1:20



SECTION D-D
Scale 1:20



lots

27 Chatterbox Street, Dublin 15
Tel: 01 274 1111
Email: info@lots.ie

Architectural drawings by Lotts Architecture and Urbanism Ltd.

PAVING WORKS AT ST JOHN'S CHURCH,
Main Street, Monasterevin, Co. Kildare

SECTION A-A, B-B, C-C, D-D &
HANDRAIL DETAIL

Perthshire Union of Parishes

255-002



FINANCE CASH OFFICE

Kildare County Council

Aras Chill Dara

Devoy Park

Naas

Co. Kildare

24/10/2023 11:40:48

Receipt No. : FIN1/0/492632

Richard Mc Loughlin (Lotts Architecture)

PLANNING EXEMPT DEVELOP FEES 80.00
GOODS 80.00
VAT Exempt/Non-vatable

Total : 80.00 EUR

Tendered :
Cheque 80.00

Change : 0.00

Issued By : Sally Pallister Finance Section
From : Financial Lodgement Area
Vat reg No. 0440571C